

NOTICE OF PUBLIC HEARING

CONDITIONAL USE APPLICATION

Rural Municipality of St. Clements

Under authority of *The Planning Act*, the municipal Council will hold a public hearing at the time and location listed below to hear from those who wish to speak in support or objection, or to ask questions. For more info on how to register for the public hearing please contact the municipality at 204-482-3300.

Tuesday
August 25, 2026
6:00 p.m.

Council Chambers
1043 Kittson Road
East Selkirk, MB

Note: property owners are responsible for notifying "tenants"

APPLICATION INFORMATION

Application File: CU 22-2026

Applicant: Wolsey Wall
Architecture and
Interior Design

Property Location: Stone Church Road
Roll # 410150, 410160
Legal: RL 212-PE-5495

Application Purpose:

The applicant is seeking approval for a "Recreation Commercial Use" and "Any other Agricultural Use" in order to construct a ceremonial lodge, to allow temporary use cabins and storage buildings on the subject property in "AR" Agricultural Restricted zone



Property Zone	Conditional Use Request	Proposed by Applicant
"AR" Agricultural Restricted	"Recreation – Commercial" and "Any other Agricultural Use" Section 5 Agricultural Zones Table 10: Agricultural Use Table	Ceremonial lodge, 10 temporary cabins, Storage buildings, wellness area, parking lots and Future Outdoor Programs.

A copy of the above-noted proposal and supporting material is available on the Red River Planning District website at <https://www.redriverplanning.com/hearings.php> or by contacting the Red River Planning District in person during normal business hours Monday to Friday at 2978 Birds Hill Road, East St. Paul, by phone at 204 669-8880, or by email at info@rrpd.ca

CONDITIONAL USE APPLICATION REPORT

Date	August 12, 2026
Application File	CU 22-2026
Applicant	Wolsey Wall Architecture & Interior Design

SUBJECT PROPERTY INFORMATION

Property Location	
- Street Address	Stone Church Road, St. Clements.
- Roll #	410150 and 410160
- Legal	RL212-PE-5495
Zoning	"AR" Agricultural Restricted zone RM of St. Clements Zoning By-law No. 5-2002
Development Plan Designation	"AR" Agricultural Restricted designation RRPD Development Plan By-law No. 272/19
Property Size	Roll 410150 – 110,407 square feet / 2.55 acres in area (+/-) 227.34 feet in width (+/-) Roll 410160 – 141,484 square feet / 3.23 acres in area (+/-) 203 feet in width (+/-) <i>NOTE: Information is based on GIS data</i>

APPLICATION DETAILS / PROPOSAL

Property Zone	Conditional Use Request	Proposed by Applicant
"AR" Agricultural Restricted	"Recreation – Commercial" and "Any other Agricultural Use" Section 5 Agricultural Zones Table 10: Agricultural Use Table	Ceremonial lodge, 10 temporary cabins, Storage buildings, wellness area, parking lots and Future Outdoor Programs.

Application Purpose

The applicant is seeking approval for the future development of The Heart of Our Ancestors Land Development on the vacant land on behalf of Peguis Child & Family Services.

The intent is to construct 10 temporary use cabins, storage building (Harvesting Shed) and future Outdoor Programs Use under “Recreation Commercial Use” as well as Ceremonial lodge, wellness/playground area and parking area for Future Outdoor Programs under “Any other Agricultural Use” on the subject property roll # 410150.

An additional parking area and wellness area for Future outdoor Programs, outdoor/storage building and single-family dwelling (2400 sq. ft) for the caretaker (which is permitted in this zone) will be constructed on roll# 410160.

Both lots will be developed with many landscaping features such as trails, monuments, multiple vegetational/tree buffers, floating boardwalk with anchorage system design that will connect in between two properties.

Subject properties	Recreational Commercial Use	Any other Agricultural Use
Roll # 410150	10 temporary use cabins (108 sq. ft each), storage building (130 sq. ft Harvesting Shed) and Future outdoor Programs	Ceremonial lodge (6000 sq. ft), wellness/playground area - Roofed Gazebos with cedar hedge (560 sq. Ft + 129 sq. ft), Parking area (approx. 38 stalls)
Roll# 410160	Future outdoor Programs	Additional parking area (approx. 131 stalls) and outdoor/storage building (1916 sq. ft in size)

OPTIONS FOR COUNCIL'S CONSIDERATION

Under section 106(1) of *the Planning Act*, on completion of the public hearing, Council may:

- (a) reject the application; or
- (b) approve the application if the conditional use proposed in the application
 - (i) will be compatible with the general nature of the surrounding area,
 - (ii) will not be detrimental to the health or general welfare of people living or working in the surrounding area, or negatively affect other properties or potential development in the surrounding area,
 - (iii) is generally consistent with the applicable provisions of the development plan by-law, the zoning by-law and any secondary plan by-law.

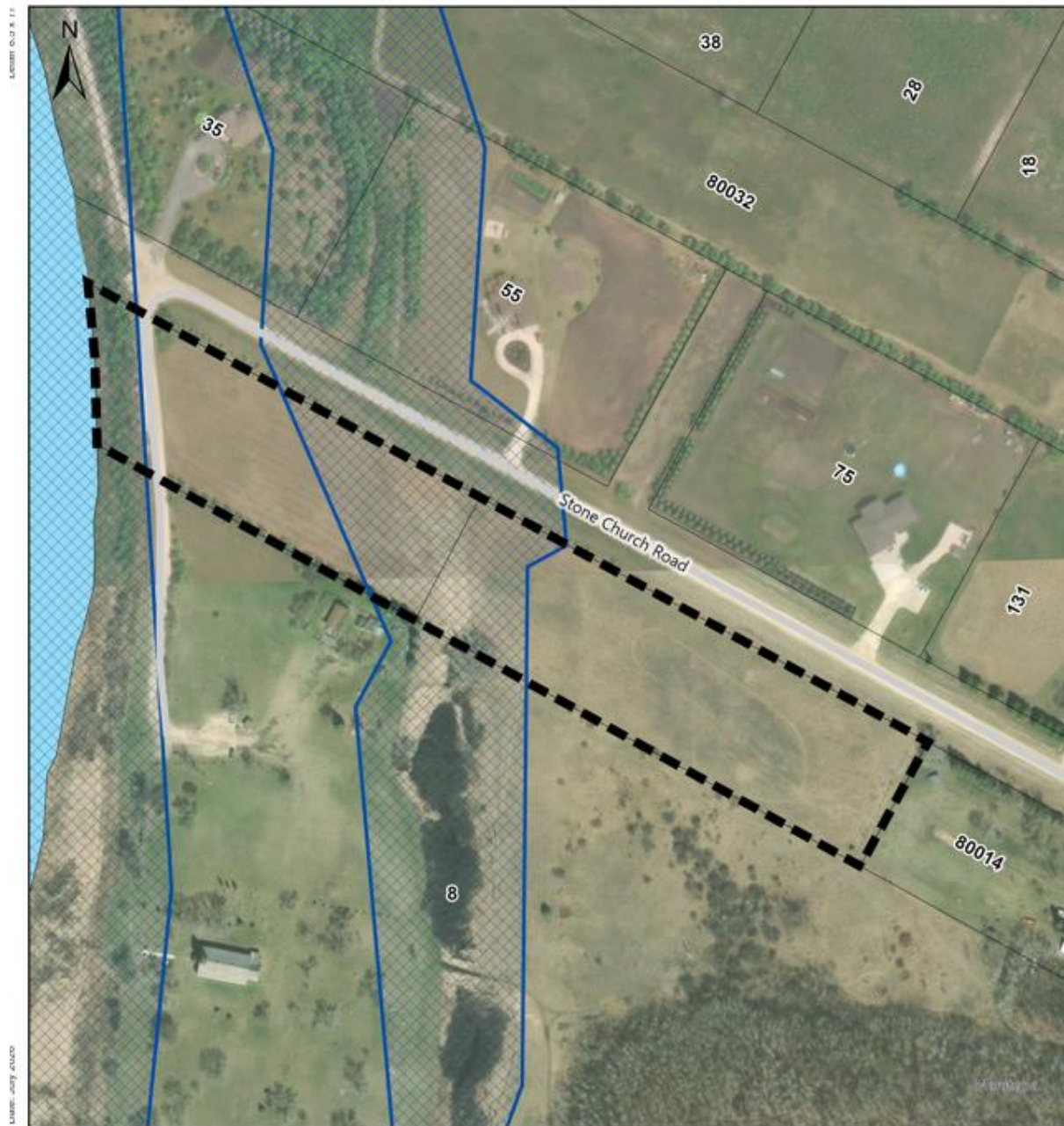
RECOMMENDED CONDITIONS OF APPROVAL

Should Council approve the requested zoning variances, the following conditions are recommended:

1. This conditional use is limited to what has been presented in this application. Any further changes, replacement or additions that are not in substantial conformance with the application would require a new approval;
2. Applicant / owner obtains all required permits from the Red River Planning District, if required.
3. Applicant / owner obtains two (2) access permits from the RM of St. Clements.

4. Applicant / owner requires a lot grade from the Province of Manitoba, Manitoba Transportation and Infrastructure Hydraulic Forecasting and Water Management Branch for the flood elevation level for the structures. Information be sent to the RM of St. Clements for final approval.
5. Applicant / owner to provide an engineered drainage plan to be submitted to the RM of St. Clements for approval
6. Applicant / owner to receive permits for dock from the Department of Fisheries and Oceans.
7. Applicant / owner enter into an easement agreement with The Anglican Church of Canada to be registered on property roll 410150 for access to the adjacent property.
8. Applicant / owner to meet all zoning requirements for "AR" zone of St. Clements ZBL and obtain all required variances, if required.
9. Applicant / owner to provide approval from the Province of Manitoba Environmental Compliance regulations on onsite wastewater management systems, to the Red River Planning District.
10. Applicant / owner to receive approval from the Office of Drinking Water with regard to any wells installed on the properties.
11. Applicant / owner to receive approval from the Province of Manitoba Historic Resources Branch to develop the property.
12. Applicant/owner must protect the riparian habitat within 60' of the ordinary high-water mark.
13. Applicant/owner must comply with section 3.8.2. of the Zoning By-law and receive a development permit from the Red River Planning District as the works are done within flood prone or hazard prone lands, with the approval from the Rural Municipality of St. Clements.
14. Applicant / owner to provide to the Red River Planning District a Geotechnical Report for the development of the properties.
15. Applicant/owner to maintain required insurances, licenses.
16. Applicant/owner enters into Development agreement with RM to address:
 - a) Road maintenance
 - b) Landscaping and buffering
 - c) Building legislation
 - d) Any other item deemed necessary

RRPD LOCATION MAP



SUPPORTIVE MAPPING

Conditional Use Application CU 22, 2026
Stone Church Road, RM of St. Clements

Designation: "AR" Agricultural Restricted
Zoning: "AR" Agricultural Restricted

Terms of Use/Disclaimer: All information is for display and estimate purposes only and is provided "as-is", the accuracy of information contained cannot be guaranteed and is in no way a legal representation of the municipality. Map content is not to scale.

-  Subject Property
-  Roads
-  Designated Flood Area
-  Parcel Outline
-  Water Bodies



ADDITIONAL INFORMATION

(from applicant, municipality, government departments, etc.)



Letter of Intent

DATE: July 10, 2026

TO: Red River Planning District ATTN: Santan Singh (Manager of Planning Services)

Red River Planning District

2978 Birds Hill Road

East St. Paul, MB R2E 1J5

RE: Letter of Intent – Proposed Peguis Child & Family Services Heart Of Our Ancestors Land Development

LEGAL DESCRIPTION: *RL212-PE-5495

ROLL NUMBER: 410150.000, 410160.000

CURRENT ZONING: AR (Agricultural Restricted)

1. Introduction

This letter serves as a formal expression of intent for the development of The Heart of Our Ancestors Land Development on the vacant lands legally described as **RL212-PE-5495**. On behalf of Peguis Child & Family Services, we are pleased to submit this proposal for your review. We are seeking the RRPD's support to permit a ceremonial lodge, ten (10) temporary use cabins, a dwelling, and a storage building.

2. Property Description & Context

The subject property is a vacant River Lot within the **AR (Agricultural Restricted)** zone. The site is characterized by flat topography with a swell, and existing native vegetation. The property is bordered by residential land to the North, active agricultural land to the East, the Red River to the West, and the Old Stone Church to the South.

3. Proposed Development

Our vision for Heart of Our Ancestors includes:

- **Building Program:**

Brian G. Wall, Architect, maa, albc, oaa, mraic, D. Arch; CT(Arch) • email: brian@wolseywall.com

Jeni Wolsey, Interior Designer, B. ID Honours • email: jeni@wolseywall.com

WWAID 778-377-8394 Winnipeg, MB | Kelowna, BC | Kenora, ON

-
- A 6,000 sq. ft. Ceremonial Lodge. The structure will be designed to complement the St. Clements corridor, utilizing neutral colors and high-quality materials.
 - Ten (10) 10'x12' A-Frame Cabins. These structures are pre-built and designed to be used for two seasons out of the year.
 - A 2,400 sq. ft. Dwelling. This structure will have an attached garage, finished basement, and be on a foundation.
 - A Storage Garage.
- **Site Layout:** We have positioned the development to minimize the impact on the remainder of the agricultural land.
 - **Landscaping:** Existing tree stands will be preserved where possible to provide natural screening. Additional landscaping will be added utilizing local species. Tree stands will be utilized to maintain privacy in the area.

4. Requested Approvals

We are seeking support to permit heritage and cultural structures similar to the Old Stone Church adjacent property. We believe this request is suitable as a Recreational Commercial use for the AR zone because:

- **Site Optimization:** Positioning the Lodge on the West side of the property allows us to avoid the swale in the land and preserve the most significant stands of native vegetation.
- **Low Impact:** The use is secondary to the land's primary character and does not require intensive municipal services.
- **Compatibility:** The proposed activity will not interfere with the right-to-farm for neighboring agricultural operators.
- **Reversibility:** The project does not involve large-scale permanent soil degradation, preserving the long-term intent of the Agricultural Restricted designation.
- **Low Density:** This is not a high density multi-family living, nor a large scale single family development plan.

5. Servicing & Environmental Strategy

We are committed to the responsible stewardship of this River Lot:

- **Wastewater:** We propose holding tanks in full compliance with provincial regulations.
- **Drainage:** A professional Lot Grading Plan will be prepared to ensure that all post-development runoff is contained on-site or directed to municipal ditches without impacting downstream neighbors; a priority we recognize as vital within the RM.
- **Access:** We will utilize two separate approaches on Stone Church Road on the North of the property, ensuring all sightlines meet safety standards.

6. Policy & Planning Alignment

This project aligns with the **Red River Planning District Development Plan** and the **RM of St. Clements Zoning Bylaw** by:

- Supporting limited, high-quality development that provides value to the RM without requiring the expansion of urban-style infrastructure.
- Maintaining the integrity of the Agricultural Restricted zone by keeping the development footprint respectful of rural setbacks.

Furthermore, the requested conditional use represents a minor deviation that allows for a superior site design, ensuring the development remains respectful of the natural environment while maintaining the required rural character and privacy for adjacent landowners.

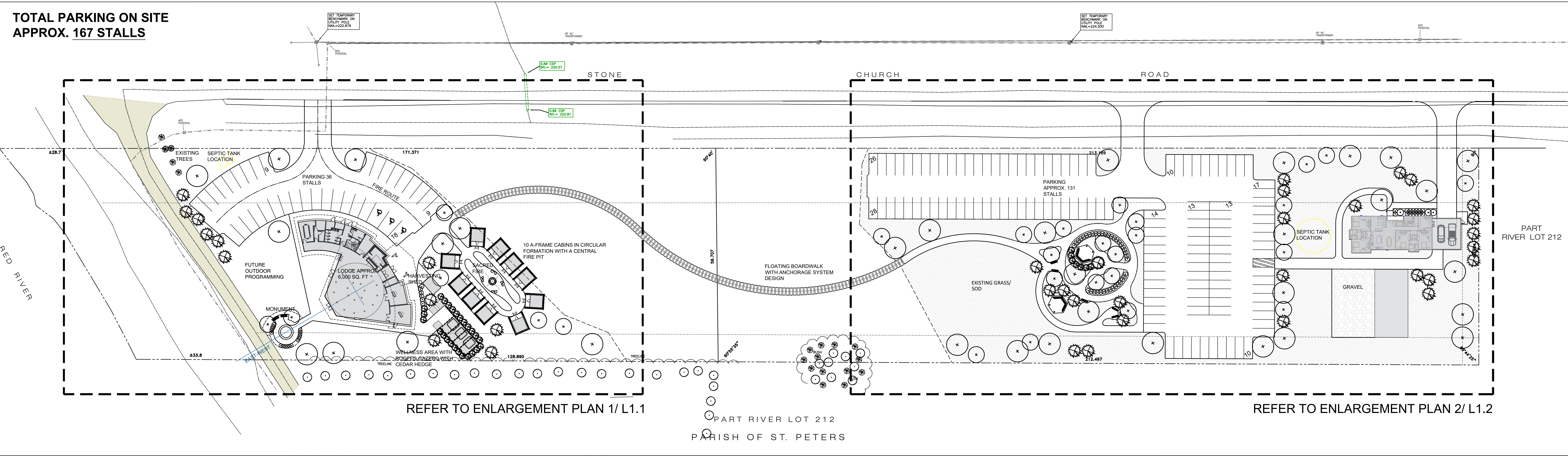
7. Collaboration & Timeline

We look forward to working collaboratively with the RM Council and the Red River Planning District. We are aiming to begin construction in Fall 2026.

Sincerely,



Leah Penner
Interior Designer
778-377-8394 ext. 105
leah@wolseywall.com



LEGEND

- PROPERTY LINE
- PROPOSED PAVEMENT EDGE
- MINIMUM REQUIRED YARDS
- PROPOSED TREES
- EXISTING TREES

0 2 5 10 25 50m

NORTH

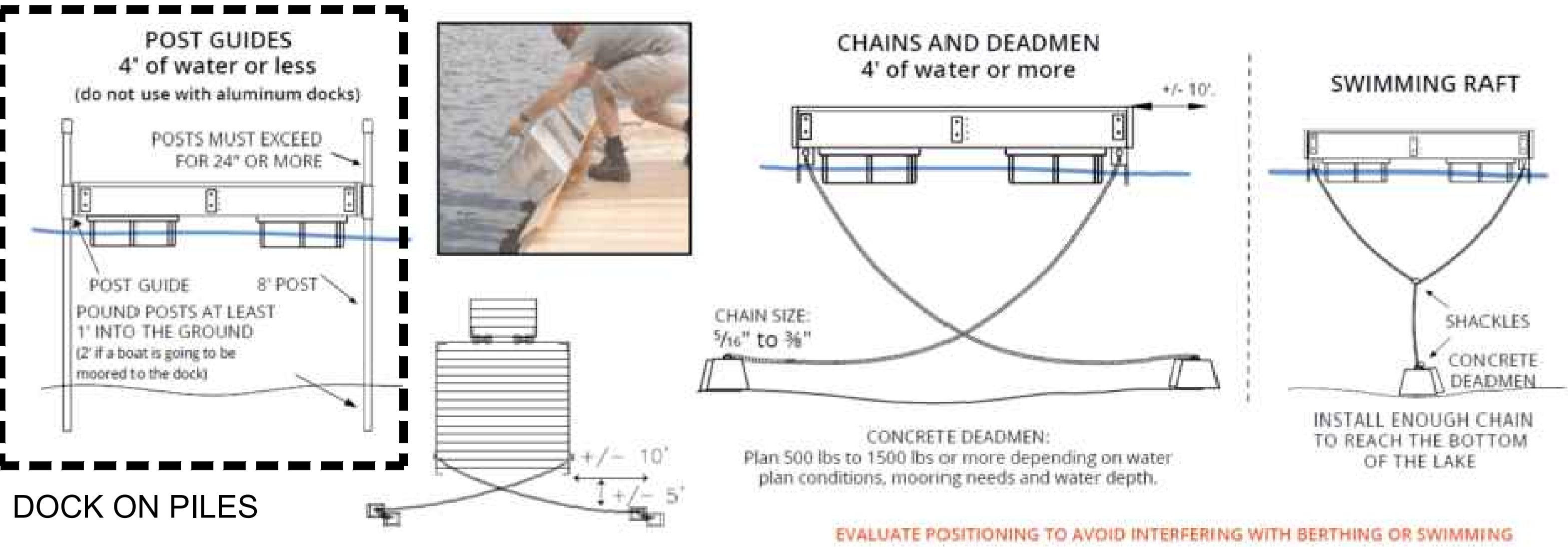
YARD REQUIREMENT FOR AGRICULTURAL ZONES

BUILDINGS AND STRUCTURES

Zone & Building Type	Required Yards				Height Max.(ft)	Site Coverage Max. %	Unit Area Ft. ² Min.
	Front Yard Min.(ft)	Side Yd Interior Min.(ft)	Side Yd Corner Min.(ft)	Rear Yard Min.(ft)			
A80, A40 Main	50	15	25	25	N/A	N/A	800
Accessory	50	15	25	25	N/A	N/A	N/A
AR Main	50	15	25	25	35	N/A	800
Accessory	50	15	25	25	20	5* (B/L 1-2003)	1280 (max.) BL4/2005

* Excluding swimming pools, decks, playhouses, swings, gazebos and picnic shelters. (B/L

FLOATING BOARDWALK WITH ANCHORAGE SYSTEM DESIGN DETAIL



No. Revisions Date By

Date Scale

05-05-26 1:500

Designed By Drawn By Checked By

NY NY JW

Seals

McGOWAN • RUSSELL

Client

Project Title

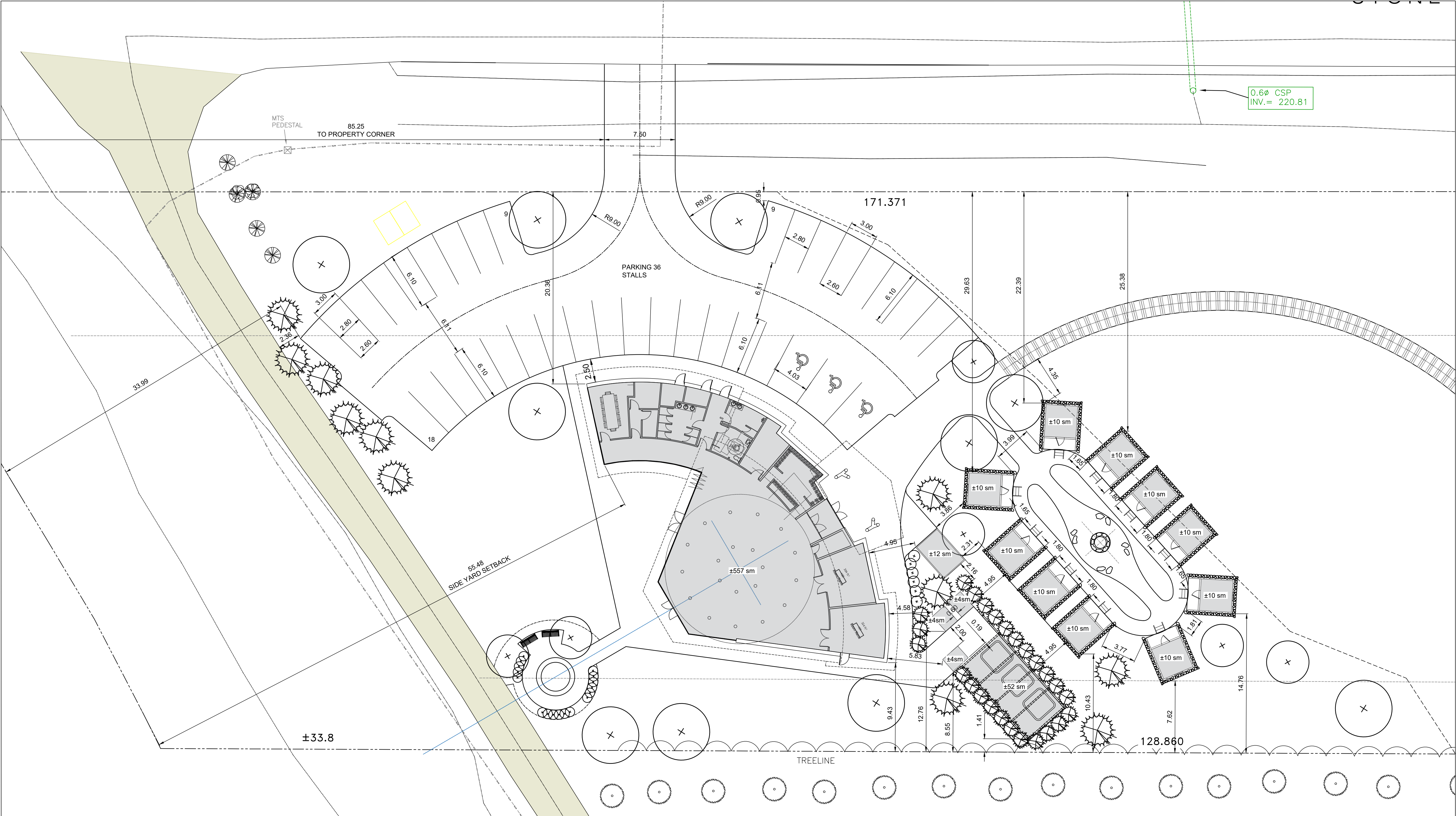
PEGUIS CFS
HEART OF
OUR ANCESTORS

Sheet Title

CONCEPTUAL
SITE PLAN

Project No. Drawing No.

26-004 L1.0

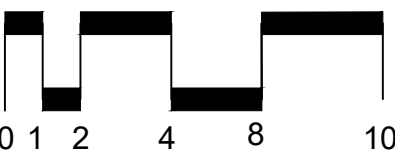


0.60 CSP
INV.= 220.81

LEGEND

- PROPERTY LINE
- PROPOSED PAVEMENT EDGE
- MINIMUM REQUIRED YARDS
- PROPOSED TREES
- EXISTING TREES

ENLARGEMENT PLAN 1



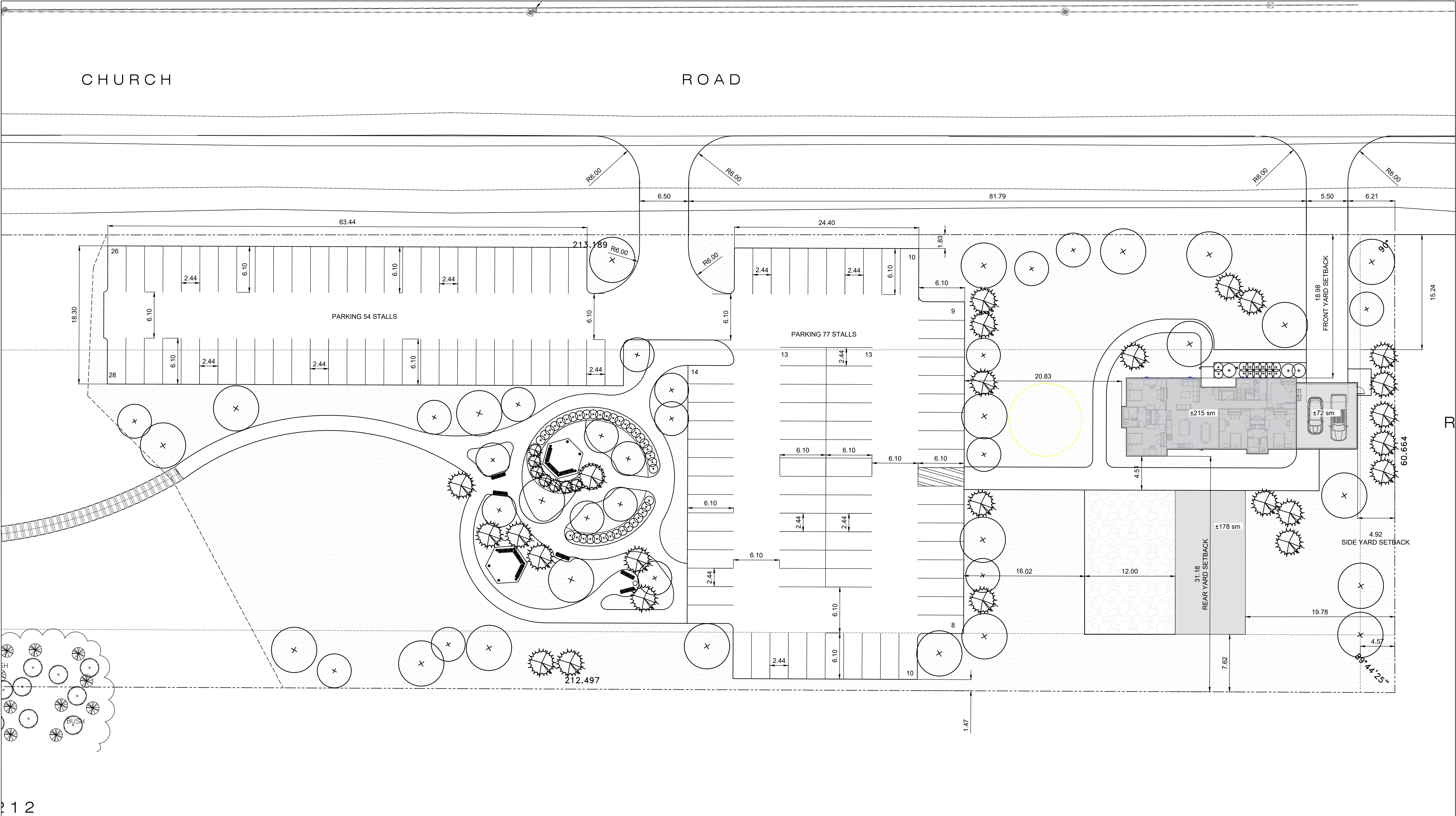
No.	Revisions	Date	By
Date	Scale		
10-08-26	1:200		
Designed By	Drawn By	Checked By	
NY	NY	JW	
Seals			



Project Title
**PEGUIS CFS
HEART OF
OUR ANCESTORS**

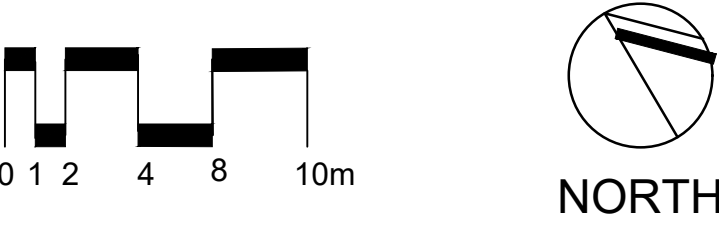
Sheet Title
**CONCEPTUAL
SITE PLAN ENLARGEMENT**

Project No. 26-004 Drawing No. L1.1



- LEGEND**
- PROPERTY LINE
 - PROPOSED PAVEMENT EDGE
 - MINIMUM REQUIRED YARDS
 - PROPOSED TREES
 - EXISTING TREES

ENLARGEMENT PLAN 2



No.	Revisions	Date	By
Date	Scale		
10-08-26	1:250		
Designed By	Drawn By	Checked By	
NY	NY	JW	
Seals			

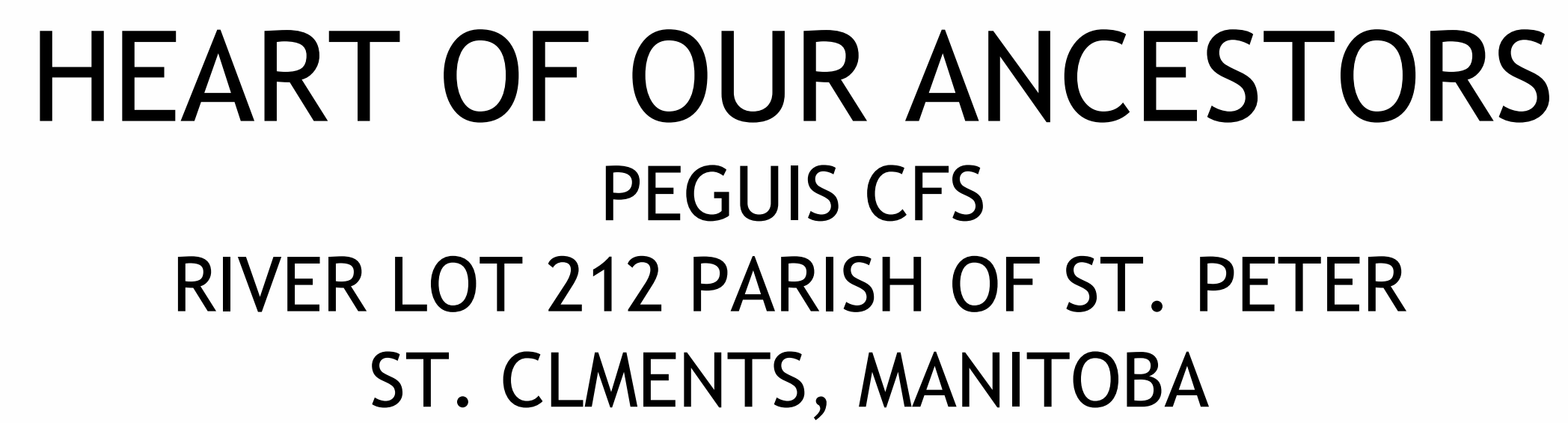


Project Title
**PEGUIS CFS
HEART OF
OUR ANCESTORS**

Sheet Title
**CONCEPTUAL
SITE PLAN ENLARGEMENT**

Project No.
26-004

Drawing No.
L1.2



ARCHITECTURAL

SHEET NO.	SHEET NAME
G001	DRAWING CONVENTIONS & PROJECT NOTES 1
G002	PROJECT NOTES 2
G003	BARRIER FREE TYPICAL DETAILS
A031	LIFE SAFETY PLAN
A121	FOUNDATION PLAN
A131	FLOOR PLAN
A141	REFLECTED CEILING PLAN
A151	ROOF PLAN
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS

ARCHITECTURAL

SHEET NO.	SHEET NAME
A301	BUILDING SECTIONS
A601	ARCHITECTURAL SCHEDULES

INTERIOR DESIGN

SHEET NO.	SHEET NAME
ID111	MILLWORK PLAN
ID121	FLOOR FINISH PLAN
ID161	REFLECTED CEILING PLAN

REVISIONS:

DRAWING NOT TO BE SCALED. ALL DIMENSIONS SHALL BE VERIFIED BEFORE WORK COMMENCES. ANY DISCREPANCIES, VARIANCES, OR MISSING DIMENSIONS, SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE WORK PROCEEDS.

ALL STRUCTURAL SYSTEMS AND COMPONENTS SHALL BE APPROVED BY A PROFESSIONAL ENGINEER. ARCHITECT ASSUMES NO LIABILITY FOR ANY FAILURE IN THE STRUCTURAL SYSTEM OR THE COMPONENTS THERE-OF.

ARCHITECTURE:



WOLSEY WALL

ARCHITECTURE & INTERIOR DESIGN

KELOWNA | WINNIPEG | KENORA

PHONE: (778) 377-8394

CONSULTANTS:

PROJECT:

HEART OF OUR ANCESTORS

RIVER LOT 212 PARISH OF ST. PETER
ST. CLMENTS, MANITOBA

DRAWING TITLE:

Cover

SCALE	FILE NO: Project Number
DATE Issue Date	DRAWING #: G000
DRAWN BY: Author	CHECKED BY: Checker

	EXISTING WALLS TO REMAIN
	EXISTING WALLS TO BE DEMOLISHED
	EXISTING TOILET FIXTURE & SINK TO BE DEMOLISHED
	EXISTING DOOR AND FRAME TO BE DEMOLISHED
	NEW WALL
	NEW WALL TO INFILL OR ALIGN TO EXISTING
	N.I.C (NOT IN CONTRACT OR SCOPE OF WORK)

DETAIL:

Detail number
Drawing where detail is located *
Drawing where detail is initially referenced from

WALL SECTION:

Wall section number
Drawing where section is located *
Drawing where section is initially referenced from

BUILDING SECTION:

Building section number
Drawing where section is located *
Drawing where section is initially referenced from

INTERIOR ELEVATIONS:

Drawing where interior elevations are drawn
Interior elevation numbers

PROJECT M

Detail number
Detail located in Project M
Architectural Section AP2
Drawing where detail is initially referenced from

* When REFERENCE SYMBOL includes the letters 'AP' or is referenced as AP2.5; it indicates the detail is located in the PROJECT MANUAL

ALIGNED	ARC LENGTH	DIAMETER	ANGULAR	TO CENTER LINE
3'-9 5/8" 3'-8"	3'-3 1/8" Radius 3'-0"	0.2° 3'-0"	78.00°	3'-6 1/2" 3'-0"
LINEAR				FINISHED FACE TO FINISHED FACE

GRID AND GRID LINE:

FLOOR ELEVATIONS: T.O. MAIN FLOOR
ELEV. 100 000

SITE GRADE ELEVATIONS: EXISTING GRADES + 231.05
NEW GRADES 231.05

NORTH ARROW: TRUE NORTH
PROJECT NORTH

ROOM NAME: ROOM 1:01
ROOM NUMBER: ROOM NO.
FLOOR LEVEL

DOOR: NEW DOOR
DOOR NO. EXISTING DOOR
DOOR NO. (IF REQUIRED) EX101

Note:
Typically the door number matches the number of the room that the door enters into regardless of the direction of swing. When a room contains more than one door the number sequence is as per the following example: 1:01, 1:01.1, 1:01.2 etc.

WALL TYPE: **REVISION:**

FLOOR TYPE: **REVISION CLOUD:**

FLOOR TYPE: **DIFFERENTIATION MARKER:**

WINDOW TYPE:

1. THE SCOPE OF WORK ENCOMPASSES ALL REQUIREMENTS IDENTIFIED WITHIN THE NOTES, DRAWINGS, AND SPECIFICATIONS.
2. A SITE VISIT IS REQUIRED TO VERIFY SITE CONDITIONS PRIOR TO SUBMISSION OF BID DRAWINGS.
3. UPON AWARD, THE CONTRACTOR SHALL PROVIDE A DETAILED CONSTRUCTION SCHEDULE FOR REVIEW AND SHALL UPDATE THE SCHEDULE AS REQUIRED.
4. THIS CONTRACT IS FOR COMPLETE CONSTRUCTION INCLUDING ALL REQUIRED COORDINATION OF TRADES. PROVIDE ALL MATERIALS, LABOUR, TOOLS, EQUIPMENT, AND SERVICES NECESSARY TO COMPLETE THE WORK AS DRAWN AND SPECIFIED.
5. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND CONSULTANT DRAWINGS AND SPECIFICATIONS.
6. ANY ERRORS, OMISSIONS, OR DISCREPANCIES BETWEEN DRAWINGS, SPECIFICATIONS, AND SITE CONDITIONS SHALL BE REPORTED IN WRITING TO THE CONSULTANT PRIOR TO PROCEEDING. NO EXTRAS SHALL BE ALLOWED DUE TO FAILURE TO VERIFY CONDITIONS. SHOULD A DISCREPANCY BETWEEN NOTES, DRAWINGS, OR SPECIFICATIONS BE DISCOVERED, THE CONTRACTOR SHALL SUBMIT A WRITTEN REQUEST FOR INFORMATION TO THE ARCHITECT.
7. **STRUCTURAL, MECHANICAL, AND ELECTRICAL SPECIFICATIONS AND DRAWINGS TAKE PRECEDENCE REGARDING THEIR RESPECTIVE DISCIPLINES, WHERE REQUIREMENTS CONFLICT, CONFORM WITH THE ARCHITECT PRIOR TO EXECUTION.**
8. ALL NOTES, DETAILS, AND CALLOUTS SHALL BE CONSIDERED TYPICAL FOR ALL SIMILAR CONDITIONS UNLESS SPECIFICALLY INDICATED OTHERWISE.
9. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS SHALL GOVERN.
10. IF ANY SPECIFIC DIMENSIONS, DETAILS, OR DESIGN INTENT CANNOT BE DETERMINED, CONSULT THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING.
11. WHERE GENERIC MATERIAL NAMES ARE USED IN THE CONTRACT DOCUMENTS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO SELECT AND SUBMIT PRODUCTS TO WAIVED SUFFICIENTLY IN ADVANCE OF CONSTRUCTION THAT FULLY COMPLY WITH ALL APPLICABLE BUILDING CODE REQUIREMENTS, AND THAT ARE EXPLICITLY SUPPORTED AND WARRANTED BY THE MANUFACTURER FOR THE SPECIFIC APPLICATION AND ENVIRONMENTAL CONDITIONS INDICATED.
12. CONTRACT DOCUMENTS ARE TO BE ISSUED TO SUBCONTRACTORS IN COMPLETE SETS TO ENSURE FULL COORDINATION AND SCOPE UNDERSTANDING ACROSS ALL DISCIPLINES.
13. THE CONTRACTOR SHALL DESIGNATE A SITE SUPERVISOR FOR THE MANAGEMENT AND COORDINATION OF THE WORK. THE SITE SUPERVISOR SHALL BE AVAILABLE AT ALL TIMES WHEN WORKERS ARE ON SITE. THE SITE SUPERVISOR IS RESPONSIBLE FOR THE SAFETY, QUALITY CONTROL, AND TRADE COORDINATION OF ALL TRADES PRESENT ON SITE. THE SITE SUPERVISOR REPRESENTS THE CONTRACTOR AND ALL COMMUNICATIONS ARE BINDING TO THE CONTRACTOR AND ARE PROVIDED AT THE CONTRACTOR'S SOLE EXPENSE.
14. COORDINATE WORK BETWEEN ALL TRADES TO PREVENT INTERFERENCES, PRESERVE MAXIMUM HEADROOM, AVOID OMISSIONS, AND MAINTAIN THE INTEGRITY OF THE DESIGN INTENT.
15. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF ALL TRADES. ANY WORK INSTALLED THAT PRECLUDES THE PROPER INSTALLATION OF SUBSEQUENT WORK, OR VIOLATES THE INTENT OF THE APPLICABLE BUILDING CODE, SHALL BE REMOVED AND REINSTALLED AT THE CONTRACTOR'S SOLE EXPENSE.
16. FURNITURE, FIXTURES, AND EQUIPMENT (FF&E), IF SHOWN, ARE FOR REFERENCE ONLY UNLESS SPECIFICALLY IDENTIFIED. MOVABLE FURNITURE IS NOT INCLUDED IN THE BASE SCOPE UNLESS NOTED AND MAY BE PROVIDED UNDER A SEPARATE CONTRACT OR ALLOWANCE.
17. DRAWINGS AND COPYRIGHT ARE THE PROPERTY OF THE ISSUING CONSULTANT. CONSULTANTS ASSUME NO RESPONSIBILITY FOR UNAUTHORIZED ALTERATIONS.
18. THE DESIGN CONSULTANTS ARE NOT RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, SEQUENCES, SITE SAFETY, PROCUREMENT, LEAD TIMES, AVAILABILITY, OR PRICING OF PRODUCTS. FINAL RESPONSIBILITY FOR CONSTRUCTION ACCURACY, TRADE COORDINATION, AND COMPLIANCE WITH THE LOCAL GOVERNING BUILDING CODE RESTS WITH THE PRIME CONTRACTOR.

1. WHERE SPECIFIC PRODUCTS OR MANUFACTURERS ARE NAMED IN THE CONTRACT DOCUMENTS, THOSE ITEMS ARE TO BE USED EXCLUSIVELY. NO SUBSTITUTIONS OR ALTERNATES WILL BE PERMITTED UNLESS FORMALLY SUBMITTED TO WVAAD FOR REVIEW SUFFICIENTLY IN ADVANCE OF PROCUREMENT AND CONSTRUCTION.
2. ALL PROPOSED CHANGES TO ANY CONSTRUCTION MATERIALS, DETAILS, OR ASSEMBLIES SHALL BE SUBMITTED IN WRITING TO WVAAD FOR REVIEW.
3. ALL SUBSTITUTIONS SHALL MAINTAIN CONFORMITY WITH THE LOCAL GOVERNING BUILDING CODE AND THE REQUIREMENTS OF THE ORIGINALLY SPECIFIED PRODUCT.
4. ALL PROPOSED SUBSTITUTIONS SHALL BE ACCOMPANIED BY PRODUCT SPECIFICATION SHEETS AND A SUMMARY OUTLINING THE COMPARABLE CHARACTERISTICS OF THE PROPOSED AND SPECIFIED PRODUCT.
5. ALL FINISH MATERIAL SUBSTITUTIONS SHALL BE ACCOMPANIED WITH SAMPLES
6. ALL SUBSTITUTIONS SHALL BE ACCOMPANIED BY ANY CHANGES IN CONTRACT PRICE AND SCHEDULE
7. ACCEPTED SUBSTITUTIONS REQUIRE THE CONTRACTOR TO FULLY COORDINATE WITH ALL DISCIPLINES AFFECTED BY THE CHANGE. THE CONTRACTOR IS RESPONSIBLE FOR ALL ADDITIONAL RELATED COSTS ASSOCIATED WITH THE SUBSTITUTION.
8. THERE IS NO OBLIGATION ON THE PART OF THE OWNER TO ACCEPT PROPOSED SUBSTITUTIONS. ACCEPTANCE OF ANY SUBSTITUTION BY THE OWNER OR CONSULTANT DOES NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY UNDER THE CONTRACT DOCUMENTS.

1. REVIEW AND SUBMISSION OF ALL SHOP DRAWINGS, SAMPLES, AND FABRICATION SCHEDULES SHALL BE COORDINATED TO MEET THE CONSTRUCTION SCHEDULE. ALL SHOP DRAWINGS, SAMPLES, AND SCHEDULES ISSUED BY SUPPLIERS AND SUBCONTRACTORS SHALL BE REVIEWED BY THE CONTRACTOR FOR ACCURACY AND COMPLETENESS PRIOR TO SUBMITTAL TO THE CONSULTANT.
2. SUBMIT SHOP DRAWINGS, DRAWN TO SCALE, INCLUDING PRODUCT DATA, DESIGN CRITERIA, DELEGATED DESIGN DOCUMENTATION, AND ALL OTHER REQUIRED SUPPORTING INFORMATION, ELECTRONICALLY IN PDF FORMAT UNLESS A PRINTED FORMAT IS SPECIFICALLY REQUESTED.
3. WHERE INDICATED, SUBMIT DUPLICATE MATERIAL SAMPLES FOR CONSULTANT REVIEW. SAMPLES SHALL BE A MINIMUM SIZE OF 1'-0" (304MM) X 1'-0" (304MM) UNLESS NOTED OTHERWISE. THE CONSULTANT WILL RETAIN ONE SAMPLE. WHERE SAMPLES ARE REQUIRED TO DEMONSTRATE A RANGE OF COLOUR, TEXTURE, OR FINISH, SUBMIT DUPLICATE SAMPLES REPRESENTING THE EXTREMES OF THE RANGE.
4. CONFIRM LOCATION OF OFFICE TO RECEIVE PHYSICAL SAMPLES BEFORE SUBMISSION.
5. CLEARLY IDENTIFY SAMPLES WITH PROJECT NAME AND NUMBER, DATE, NAME OF SUPPLIER OR MANUFACTURER, AND THE INTENDED USE OF THE MATERIAL REPRESENTED.
6. DO NOT PROCEED WITH FABRICATION OR ORDERING OF MATERIALS UNTIL SHOP DRAWINGS AND SAMPLES HAVE BEEN REVIEWED AND APPROVED IN WRITING. SAMPLES, MOCKUPS, AND SHOP DRAWINGS SHALL BE SUBMITTED AND REVIEWED PRIOR TO FABRICATION OR INSTALLATION. REVIEW DOES NOT RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR ACCURACY, COORDINATION, OR CODE COMPLIANCE.

- GOVERNING BUILDING CODE, REFERENCED STANDARDS, AS WELL AS ALL APPLICABLE ACCESSIBILITY, FIRE, LIFE SAFETY, AND REGULATORY REQUIREMENTS, EXCEPT WHERE A HIGHER STANDARD IS IDENTIFIED IN THE CONTRACT DOCUMENTS.
2. ALL WORK SHALL COMPLY WITH REQUIREMENTS OF THE LOCAL AUTHORITY HAVING JURISDICTION. WHERE PROJECTS ARE LOCATED ON FIRST NATIONS RESERVE LAND, THE REGIONAL CHIEF AND COUNCIL ARE THE AUTHORITY HAVING JURISDICTION.
3. ALL WORK SHALL BE EXECUTED IN ACCORDANCE WITH APPLICABLE FEDERAL, PROVINCIAL AND LOCAL REGULATIONS.
4. PERFORMANCE OF THE WORK SHALL COMPLY WITH THE CONTRACT DOCUMENTS AND THE REQUIREMENTS OF THE AUTHORITY HAVING JURISDICTION (AHJ).
5. PERFORMANCE OF THE WORK SHALL COMPLY WITH ANY PROVIDED POLICIES AND PROCEDURES OF THE OWNER.
6. ALL TRADES PERSONS SHALL WORK WITHIN THEIR QUALIFICATIONS AND COMPLY WITH PROVINCIAL REQUIREMENTS. ALL SPECIALIZED TRADEPERSONS AND INDUSTRY PROFESSIONALS ARE EXPECTED TO WORK WITH REASONABLE CARE AND COMPETENCY WITHIN THEIR AREA OF EXPERTISE.
7. VERIFY ALL SITE CONDITIONS, DIMENSIONS, LEVELS, AND CLEARANCES PRIOR TO PRICING, ORDERING, FABRICATION, OR INSTALLATION OF ANY SECTION OF WORK, NOTIFY WMAID IN WRITING OF ANY CONDITIONS CONTRARY TO THE CONTRACT DOCUMENTS. COMMENCEMENT OF WORK CONSTITUTES ACCEPTANCE OF EXISTING CONDITIONS.
8. FIELD MODIFICATIONS REQUIRED DUE TO SITE CONDITIONS SHALL NOT CONSTITUTE A CHANGE IN DESIGN INTENT.
9. INSTALLATION OF ALL PRODUCTS SHALL ADHERE TO THE MANUFACTURER'S INSTRUCTIONS AND THE APPLICABLE BUILDING CODE.
10. ALL NECESSARY EQUIPMENT, FENCING, SCAFFOLDING REQUIRED FOR A SECTION OF THE WORK SHALL BE PROVIDED BY THE TRADE COMPLETING THE WORK OR COORDINATED PRIOR TO THE WORK WITH THE GENERAL CONTRACTOR.
11. ANY UNSOUND CONDITIONS OBSERVED OR CREATED DURING CONSTRUCTION SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT AND THE **STRUCTURAL ENGINEER**.
12. UPON DISCOVERY OF ASBESTOS OR OTHER HAZARDOUS MATERIALS, THE CONTRACTOR SHALL IMMEDIATELY ISOLATE THE AREA AND CONTACT THE OWNER FOR INSTRUCTION BEFORE ANY FURTHER PROCEEDING. THE EXPOSURE OF HAZARDOUS OR DESIGNATED SUBSTANCES IS THE RESPONSIBILITY OF THE OWNER. UNCOVERED UNKNOWN HAZARDOUS OR DESIGNATED SUBSTANCES MAY REQUIRE MITIGATION OR REMOVAL THROUGH A SEPARATE CONTRACT OR A CHANGE TO THE WORK.
13. ALL WORKERS TO MEET THE SAFETY, TRADE, AND WORK REGULATIONS IN THE LOCATION OF THE WORK.
14. THE CONSULTANT RESERVES THE RIGHT TO REJECT ANY WORK, MATERIAL, OR EQUIPMENT THAT DOES NOT CONFORM TO THE CONTRACT DOCUMENTS OR TO ACCEPTED STANDARDS OF PERFORMANCE, APPEARANCE, AND FINISH.
15. ALL CEILING IS WITH OPEN CEILING OR EXPOSED BUILDING SERVICES SHALL HAVE NEATLY INSTALLED, ROUND DUCTWORK AND ORGANIZED CABLE CONDUITS. EXPOSED STRUCTURAL BEAMS AND THE UNDERSIDE OF ROOF DECKS SHALL BE SPRAY PAINTED AND FINISHED TO A CLEAN, UNIFORM, AND VISUALLY ACCEPTABLE STANDARD.
16. ALL INTERIOR FINISHED SHALL BE INSTALLED PLUMB, LEVEL, SQUARE, AND TRUE.

1. MAINTAIN A MINIMUM OF TWO INDEPENDENT MEANS OF EGRESS PER FLOOR DURING ALL PHASES OF CONSTRUCTION AND DEMOLITION AS REQUIRED BY THE **APPLICABLE BUILDING CODE**.
2. THE CONTRACTOR SHALL COORDINATE AND TEMPORARILY BYPASS EXISTING SYSTEMS AS REQUIRED TO MAINTAIN CONTINUITY OF BUILDING OPERATIONS.
3. PROTECT ALL EXISTING SITE ELEMENTS TO REMAIN. REPAIR OR REPLACE ANY ELEMENTS DAMAGED DURING CONSTRUCTION TO THE SATISFACTION OF THE ARCHITECT AND OWNER.
4. PROVIDE TEMPORARY FENCING, BARRICADES, AND SAFETY PROTECTIONS AS REQUIRED BY THE FEDERAL, PROVINCIAL, AND LOCAL REGULATIONS.
5. THE CONTRACTOR SHALL MAINTAIN THE SITE IN A CLEAN AND SAFE CONDITION. WASTE, DEBRIS, AND RECYCLABLE MATERIALS SHALL BE MANAGED AND REMOVED IN ACCORDANCE WITH BEST PRACTICES AND OWNER REQUIREMENTS.
6. EACH CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP AND DISPOSING OF THEIR DEBRIS AND WASTE MATERIAL DAILY AND LEAVE THE PROJECT IN A BROOM SWEEP FINISH CONDITION UPON COMPLETION OF THEIR PORTION OF THE WORK.
7. UPON COMPLETION OF THE PROJECT, CLEAN ALL WORK AREAS TO A "LIKE NEW" CONDITION INCLUDING THE FOLLOWING:
 - A. REMOVE ALL WASTE PRODUCTS, DEBRIS, SURPLUS MATERIALS, TOOLS, CONSTRUCTION MACHINERY, AND EQUIPMENT NOT REQUIRED FOR THE PERFORMANCE OF REMAINING WORK PRIOR TO DECLARATION OF SUBSTANTIAL PERFORMANCE.
 - B. CLEAN AND WASH ALL FINISHES, LIGHTING FIXTURES, PLUMBING FIXTURES, AND GLASS, WITHIN THE WORK AREA UPON COMPLETION OF THE PROJECT.
 - C. VACUUM AND WIPE CLEAN ALL INTERIORS OF MILLWORK, THOROUGHLY CLEAN ALL UNITS, BOTH EXISTING AND NEW, INSIDE AND OUT.
 - D. SURFACES TO REMOVE EXCESS PAINT, SPATTERS, OR ANY PAINT MISPLACED ON OTHER SURFACES.
 - E. REMOVE ALL STAINS, SPOTS, MARKS, AND DIRT FROM ALL INTERIOR WORK CAUSED DURING CONSTRUCTION.
8. THE CONTRACTOR SHALL PATCH, REPAIR, AND "MAKE GOOD" ALL EXISTING SURFACES AND FINISHES DAMAGED OR DISTURBED DURING THE COURSE OF THE WORK. THIS INCLUDES, BUT IS NOT LIMITED TO, HOLES LEFT BY REMOVED FIXTURES, PENETRATIONS FOR NEW UTILITIES, AND DAMAGE TO ADJACENT SURFACES. EXISTING WALL AND CEILING SURFACES SHALL BE REPAIRED AND PREPARED NEW FINISHES. ALL NEW FINISHES SHALL MATCH EXISTING ADJACENT MATERIALS IN TEXTURE, COLOR, AND SHEEN TO THE SATISFACTION OF THE OWNER.
9. FIRE ALARMS AND BUILDING SERVICES SHALL REMAIN IN OPERATION DURING THE WORK. THE OWNER AND PRIME CONSULTANT SHALL BE NOTIFIED OF ANY DISRUPTION REQUIRED BY THE WORK.

1. ACCEPTANCE OF THE WORK BY THE OWNER SHALL BE A CONDITION OF THE COMPLETION OF ANY PORTION OF THE WORK.
2. DEMONSTRATE THE OPERATION OF EACH SYSTEM TO THE OWNER PRIOR TO FINAL INSPECTION.
3. DECLARATION OF SUBSTANTIAL PERFORMANCE:
 - A. CAREFULLY INSPECT THE WORK AND CONFIRM THAT IT IS COMPLETE, THAT ALL MAJOR AND MINOR CONSTRUCTION DEFICIENCIES HAVE BEEN ADDRESSED, THAT DEFECTS HAVE BEEN CORRECTED, AND THAT THE BUILDING IS CLEAN AND IN CONDITION FOR OCCUPANCY PRIOR TO DECLARATION OF SUBSTANTIAL PERFORMANCE.
 - B. NOTIFY THE CONSULTANT IN WRITING OF SATISFACTORY COMPLETION OF THE WORK AND REQUEST A SITE REVIEW.
 - C. DURING THE CONSULTANT'S SITE REVIEW, A LIST OF DEFICIENCIES AND DEFECTS WILL BE PREPARED.
 - D. CORRECT ALL IDENTIFIED DEFICIENCIES WITHIN TEN (10) DAYS OF NOTIFICATION, UNLESS A LONGER PERIOD IS AGREED TO IN WRITING BETWEEN THE OWNER AND THE CONTRACTOR.
 - E. WHEN THE CONSULTANT DETERMINES THAT DEFICIENCIES AND DEFECTS HAVE BEEN SATISFACTORY CORRECTED AND THAT THE REQUIREMENTS OF THE CONTRACT HAVE BEEN MET, SUBMIT APPLICATION FOR THE CERTIFICATE OF SUBSTANTIAL PERFORMANCE.
4. ALL WORK SHALL BE WARRANTED FOR A MINIMUM PERIOD OF ONE (1) YEAR FROM THE DATE OF ISSUANCE OF THE CERTIFICATE OF SUBSTANTIAL PERFORMANCE, UNLESS NOTED OTHERWISE IN THE CONTRACT DOCUMENTS.
5. PROVIDE THE OWNER AND PROPERTY MANAGER WITH WRITTEN OPERATION AND MAINTENANCE INSTRUCTIONS FOR ALL NEW MATERIALS, SYSTEMS, AND EQUIPMENT.
6. LEAVE ON SITE IN A LOCATION AS DIRECTED BY THE OWNER ALL REMAINING QUANTITIES OF MATERIALS AS NOTED BELOW. LABEL EACH MATERIAL WITH THE MANUFACTURER, STYLE/PRODUCT NAME, MIX FORMULA (PAINT), AND LOCATION FOR EACH MATERIAL AND COLOUR SPECIFIED.
7. PAINT: A MINIMUM OF 1 UNOPENED LITRES OF EACH FIELD COLOUR AND FINISH USED
8. CARPET FLOORING: 5% OF TOTAL INSTALLATION OF EACH MATERIAL AND COLOUR USED, INCLUDING ANY PARTIALLY USED CASES OR ROLLS OF MATERIAL
9. RESILIENT FLOORING: 5% OF TOTAL INSTALLATION OF EACH MATERIAL AND COLOUR USED, INCLUDING ANY PARTIALLY USED CASES OR ROLLS OF MATERIAL
10. CERAMIC/PORCELAIN/GLASS TILE: 5% OF TOTAL INSTALLATION OF EACH MATERIAL AND COLOUR USED, INCLUDING ANY PARTIALLY USED CASES OF MATERIAL
11. RESILIENT ACCESSORIES: 96" OF EACH MATERIAL AND COLOUR SPECIFIED
12. TRANSITION TRIMS: 5% OF ALL TYPES AND FINISHES SPECIFIED
13. PROVIDE AS-BUILT DRAWINGS TO THE CONSULTANT WITHIN THIRTY (30) DAYS OF SUBSTANTIAL PERFORMANCE. IN ADDITION, PROVIDE THE ORIGINAL SITE MARK-UP SET WITH ALL CHANGES AND MODIFICATIONS CLEARLY IDENTIFIED. RECORD ACTUAL CONSTRUCTION CONDITIONS, INCLUDING BUT NOT LIMITED TO ALL CHANGES TO THE CONTRACT DOCUMENTS AND ALL SITE CONDITIONS DISCOVERED DURING CONSTRUCTION.

1. SERVICES PRIOR TO COMMENCEMENT OF WORK. ALL UTILITY LOCATES ARE TO BE MAINTAINED ON SITE.
2. PROVIDE ADEQUATE SLOPE, SHORING, BRACING AND/OR FORM WORK TO PREVENT COLLAPSE OF WORKS
3. PROTECT ADJOINING AND ADJACENT BUILDINGS AND FOUNDATIONS FROM DAMAGE DURING EXCAVATION AND BACKFILLING OPERATIONS.
4. DURING EXCAVATION REMOVE ALL ORGANIC OR UNSUITABLE MATERIAL AND REPLACE WITH COMPACTED, CLEAN, FREE-DRAINING GRANULAR SOIL PER THE APPLICABLE BUILDING CODE.
5. FINISHED GRADES TO BE CONFIRMED ON SITE WITH THE OWNER AND ARCHITECT
6. BACKFILL SHALL BE FREE OF ORGANIC MATERIAL AND NOT SUBJECT TO DETRIMENTAL VOLUME CHANGE WITH CHANGES IN MOISTURE CONTENT OR TEMPERATURE.
7. BACKFILL PLACED WITHIN 24" OF THE FOUNDATION WALL SHALL BE FREE OF ALL DELETERIOUS DEBRIS AND BOULDERS LARGER THAN 6" DIAMETER. ALL BURIED INSULATION SHALL BE RATED FOR SOIL EXPOSURE AND MOISTURE RESISTANCE.
8. UNLESS OTHERWISE NOTED, FINISHED GRADE SHALL BE SLOPED AT A MINIMUM OF 3% AWAY FROM BUILDINGS FOR A DISTANCE OF AT LEAST 10 FEET (3048 MM)

1. COMPLETE WITH BUILDING RULES, REGULATIONS, AND LANDLORD DIRECTIONS DURING DEMOLITION WORK.
2. CONDUCT DEMOLITION WORK IN AN ORDERLY MANNER, PROTECTING EXISTING CONSTRUCTION THAT IS TO REMAIN.
3. CARRY OUT DEMOLITION IN A MANNER THAT LEAST INCONVENIENCES ADJACENT OCCUPIED BUILDING AREAS.
4. DO NOT REMOVE OR ALTER STRUCTURAL ITEMS THAT AFFECT BUILDING INTEGRITY. COORDINATE WITH THE ARCHITECT AND STRUCTURAL ENGINEER TO PROVIDE NECESSARY BRACING OR SHORING TO SUPPORT THE STRUCTURE DURING DEMOLITION.
5. CEASE OPERATIONS AND NOTIFY THE CONSULTANT IF SAFETY OR ADJACENT WORK APPEARS ENDANGERED. DO NOT RESUME OPERATIONS UNTIL REVIEWED WITH OWNER AND CONSULTANT. CEASE OPERATIONS IMMEDIATELY IF THE STRUCTURAL INTEGRITY OF THE BUILDING APPEARS ENDANGERED. REPORT SAFETY CONCERNS IMMEDIATELY TO WWAID AND DO NOT RESUME WORK UNTIL SAFETY IS RESTORED.
6. TURN OVER EQUIPMENT, FIXTURES, ACCESSORIES, AND OTHER SALVAGEABLE ITEMS TO THE OWNER. DISPOSE OF MATERIALS WHEN DIRECTED BY OWNER.
7. UNLESS DIRECTED OTHERWISE REMOVE ALL DEMOLISHED MATERIAL FROM THE SITE AS THE WORK PROGRESSES. DO NOT BURN OR BURY MATERIALS ON SITE. AT THE COMPLETION OF THE WORK, ALL DEMOLISHED MATERIALS SHALL BE REMOVED AND THE SITE LEFT IN A CLEAN CONDITION.
8. REMOVE ALL MISCELLANEOUS ITEMS FROM WALLS, CEILINGS, COLUMNS AND FLOORS. COLUMNS, WALLS & FLOORS TO BE SMOOTH & FREE OF ALL PROTRUDING OBJECTS, UNLESS NOTED OTHERWISE.
9. WHERE FLOORING IS TO BE REMOVED CONCRETE TOPPINGS SHALL BE REMOVED AS REQUIRED AND INSTALL NEW TOPPING TO LEVEL. THE SLAB SHALL HAVE FLOOR FINISHES. CONFIRM LOCATION OF ALL RECESSED FLOOR MONUMENTS WITH CONSULTANT PRIOR TO CORING.
10. REMOVAL OF FINISHES AND SHEATHING INCLUDES REMOVAL OF FASTENERS
11. PROTECT EXISTING BUILDINGS AND ADJACENT SURFACES, FEATURES AND PROPERTY.
12. ITEMS REMOVED BY THE CONTRACTOR TO FACILITATE CONSTRUCTION, SUCH AS COVER PLATES AND DOOR HARDWARE, SHALL BE REINSTALLED UNLESS NOTED OTHERWISE.

1. UNLESS OTHERWISE SPECIFIED, ALL FOOTINGS SHALL BEAR ON ROCK OR UNDISTURBED SOIL WITH A MINIMUM BEARING CAPACITY DICTATED BY THE APPLICABLE BUILDING CODE.
2. ALL STRUCTURAL ENGINEERING SHALL BE IN ACCORDANCE WITH THE APPLICABLE BUILDING CODE.
3. FOUNDATION WALLS SHALL EXTEND A MINIMUM OF 8" (200 MM) ABOVE FINISHED GRADE.
4. ALL CONCRETE MATERIAL PROPERTIES SHALL COMPLY WITH THE APPLICABLE BUILDING CODE AND THE STRUCTURAL SPECIFICATIONS
5. CARE SHALL BE TAKEN TO AVOID OVER-FINISHING
6. THE APPLICATION OF WATER, CEMENT, OR COMBINATION OF BOTH TO THE CONCRETE SURFACE SHALL NOT BE PERMITTED FOR CURING AID.
7. LOCALIZED DEFECTS SHALL BE REPAIRED USING CONCRETE.
8. REINFORCING STEEL SHALL MAINTAIN THE MINIMUM CONCRETE COVER REQUIRED BY THE APPLICABLE BUILDING CODE AND STRUCTURAL REQUIREMENTS
9. FOUNDATION WALLS SHALL BE LATERALLY SUPPORTED PRIOR TO BACKFILLING.
10. WHERE GEOTECHNICAL EXAMINATION OR EXCAVATION REVEALS THAT HYDROSTATIC PRESSURE MAY BUILD UP AGAINST THE FOUNDATIONS, BACKFILL SHALL BE DRAINED BY A SUBGRADE DRAINAGE SYSTEM AS SPECIFIED.
11. REFER TO DRAWINGS OF ALL DISCIPLINES FOR EQUIPMENT REQUIRING CONCRETE EQUIPMENT PADS. PROVIDE SUCH PADS, COORDINATING THEIR SIZES AND LOCATIONS. REVIEW LOCATIONS WITH THE DESIGN CONSULTANT PRIOR TO INSTALLATION.
12. WHERE WATER TABLE LEVELS ARE FOUND TO BE WITHIN A DEPTH OF LESS THAN THE WIDTH OF THE FOOTING BELOW THE BEARING SURFACE, THE CONSULTANT SHALL BE NOTIFIED
13. ALL CONCRETE WORK SHALL BE PROTECTED FROM FROST AND FREEZING FOR THE DURATION MANDATED BY THE APPLICABLE BUILDING CODE.

1. ALL **STRUCTURAL STEEL MEMBERS** SHALL BE FASTENED TO SUPPORTS AS PER THE **STRUCTURAL DETAILS AND ARCHITECTURAL REQUIREMENTS**.
1. **ALL METALS** INSTALLED AT THE BUILDING ENVELOPE SHALL BE **DETAILLED TO MAINTAIN THE INTEGRITY OF THE VAPOR BARRIER AND WATER-RESISTIVE ASSEMBLY**.
2. **DISSIMILAR METALS** SHALL BE **EFFECTIVELY ISOLATED FROM EACH OTHER** TO PREVENT GALVANIC CORROSION.
3. **FLOOR FRAMING IN AREAS SCHEDULED FOR TILE OR GYPSCRETE** TO BE DESIGNED FOR **L/480 MAX DEFLECTION** AND **ADDITIONAL DEAD LOADS**. **FLOOR FRAMING IN AREAS SCHEDULED NATURAL STONE FINISHED** TO BE DESIGNED FOR **L/720 MAX DEFLECTION** AND **ADDITIONAL DEAD LOADS**.

1. ALL WOOD FRAME CONSTRUCTION AND FASTENING SHALL COMPLY WITH THE APPLICABLE BUILDING CODE.
2. ALL FRAMING TO BE INSTALLED ACCORDING TO PLANS, PLUMB, AND LEVEL WITHIN A TOLERANCE OF 1/8" OVER 8'
3. ALL LOAD-BEARING FRAMING LUMBER SHALL BE GRADE-STAMPED AND MEET THE MOISTURE CONTENT STANDARDS OF THE APPLICABLE BUILDING CODE AT THE TIME OF INSTALLATION.
4. WOOD MEMBERS IN CONTACT WITH CONCRETE SHALL BE PRESSURE-TREATED AND SEPARATED BY A WATERPROOF MEMBRANE.
5. ALL EXPOSED EXTERIOR STRUCTURAL WOOD ELEMENTS SHALL BE TREATED WITH A FINISH OR PRESERVATIVE TO RESIST DECAY.
6. FIELD CUTS IN PRESSURE TREATED WOOD SHALL BE PROTECTED WITH A FIELD USE PRESERVATIVE.
7. END CUTS IN PRESSURE TREATED WOOD SHALL BE PROTECTED WITH A FIELD USE PRESERVATIVE.
8. PROVIDE SOLID BLOCKING THE FULL WIDTH OF THE SUPPORTED MEMBER UNDER ALL CONCENTRATED LOADS TO MAKE CONCENTRATED LOADS PATHS CONTINUOUS TO THE FOUNDATION
9. ALL FLUSH MOUNT JOIST INSTALLATIONS SHALL BE INSTALLED WITH APPROPRIATE JOIST HANGERS AND FASTENERS.
10. MIN. 3/4" PLYWOOD OR SOLID LUMBER BLOCKING ADEQUATE FOR INSTALLATION OF REQUIRED CABINetry AND FINISHES SHALL BE INSTALLED.
11. STUDS SHALL ADJAC TO WATER CLOSETS, SHOWERS OR BATHTUBS SHALL BE REINFORCED WITH DIMENSIONAL LUMBER SOLID BLOCKING OR SHEATHED WITH 3/4" PLYWOOD TO PERMIT FUTURE INSTALLATION OF GRAB BARS
12. GUARDS ARE REQUIRED WHERE CHANGES IN ELEVATION IS MORE THAN 24" BETWEEN THE WALKING SURFACE AND THE ADJACENT SURFACE.
13. ALL GUARDS AND PICKETS SHALL MEET THE HEIGHT AND SPACING REQUIREMENTS OF THE APPLICABLE BUILDING CODE.
14. FLOOR FRAMING IN AREAS SCHEDULED FOR TILE OR GYPCRETE TO BE DESIGNED FOR L/480 MAX DEFLECTION AND ADDITIONAL DEAD LOADS. FLOOR FRAMING IN AREAS SCHEDULED FOR NATURAL STONE FINISH TO BE DESIGNED FOR L/720 MAX DEFLECTION AND ADDITIONAL DEAD LOADS.
15. INSTALL 1/4" PLYWOOD OR DIMENSIONAL LUMBER RACKING IN WALLS AT LOCATIONS INCLUDING, BUT NOT LIMITED TO, MILLWORK, SUSPENDED AV EQUIPMENT, LIGHT FIXTURES, FF&E, AND WASHROOM ACCESSORIES PRIOR TO GYPSUM WALLBOARD INSTALLATION. BLOCKING SHALL BE LEVEL, PLUMB, AND RIGIDLY ANCHORED TO SUBSTRATE. REFER TO FURNITURE PLANS FOR COORDINATION.

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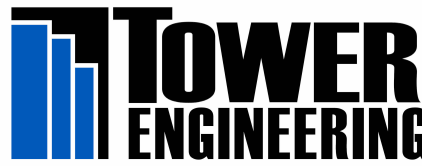
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CONSULTANTS:



PROJECT:

HEART OF OUR ANCESTORS

RIVER LOT 212 PARISH OF ST. PETER
ST. CLMENTS, MANITOBA

DRAWING TITLE:

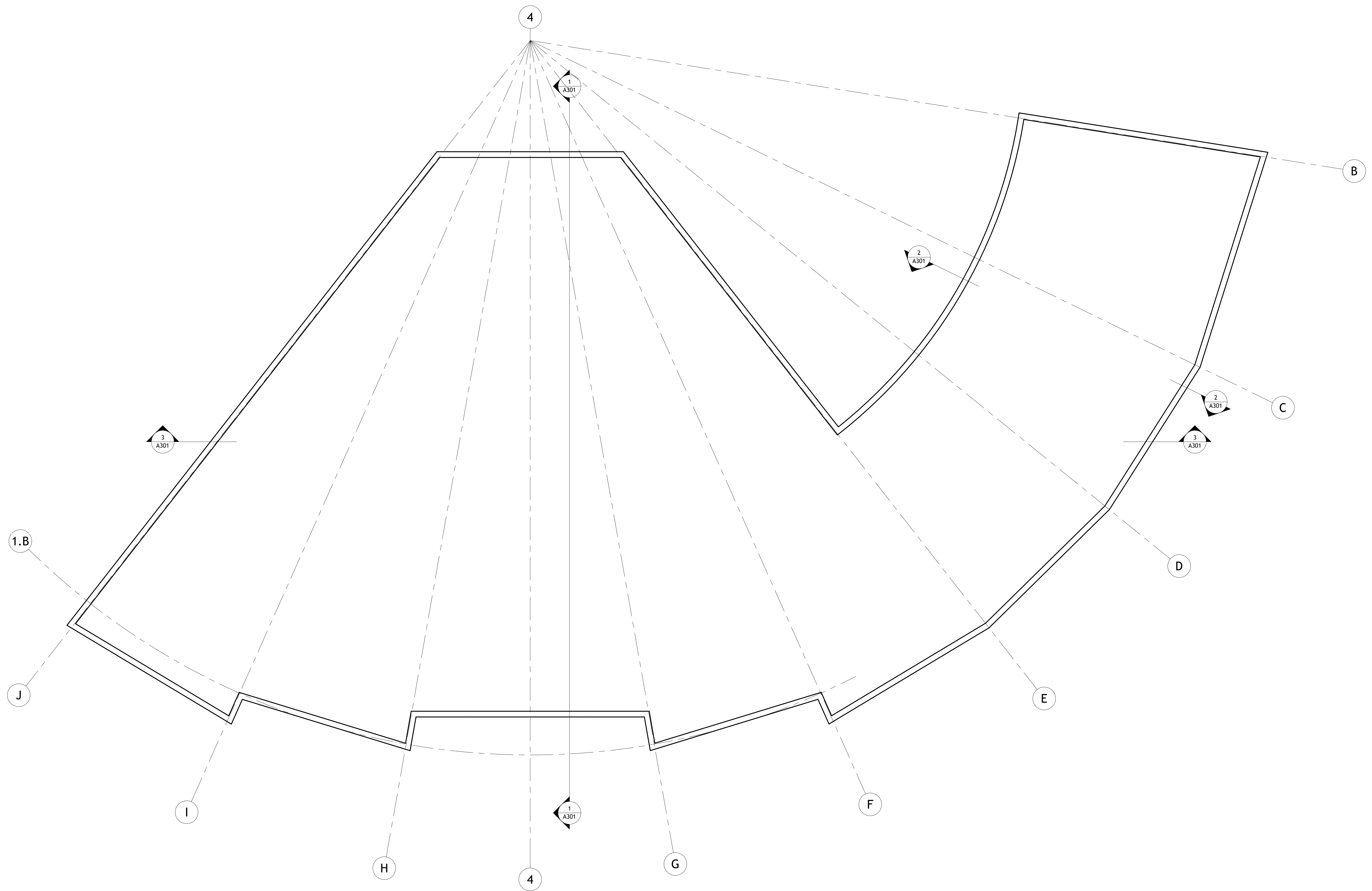
DRAWING CONVENTIONS & PROJECT NOTES 1

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DATE 01/13/26	DRAWING #:
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MASTER ABBREVIATIONS LIST FOR DRAWINGS:

(REFER TO DOOR SCHEDULE AND ROOM FINISH SCHEDULE FOR DOOR AND ROOM FINISH ABBREVIATIONS)

	CENTERLINE	E OR ELECT.	ELECTRICAL	NO. OR #	NUMBER
(RTA)	REFER TO ARCHITECTURAL	ELEV.	ELEVATION	N.I.C./NIC	NOT IN CONTRACT
(RTC)	REFER TO CIVIL	ELP	ELECTRICAL PANEL	N.T.S.	NOT TO SCALE
(RTE)	REFER TO ELECTRICAL	EQ.	EQUAL		
(RTID)	REFER TO INTERIOR DESIGN	ES	EXPOSED STRUCTURE	O.C.	ON CENTRE
(R/L)	REFER TO LANDSCAPING	ESU	EXPOSED STRUCTURE UNFINISHED	O.F.F.	OUTSIDE DIAMETER
(RTM)	REFER TO MECHANICAL	EXIST. OR EX.	EXISTING	OWN	OWNER FURNISHED PRODUCT
(RTP)	REFER TO PLUMBING	EXT.	EXTERIOR	O.H.	OVERHEAD
(RTS)	REFER TO STRUCTURAL			O.S.	OVERFLOW SCUPPER
99	EMERGENCY CALL BUTTON	F.D. FE (-S) (-F)	FLOOR DRAIN FIRE EXTINGUISHER (SEMI-RECESSED) (FULLY RECESSED)	PL.LAM. (PL) PLBG.	PLASTIC LAMINATE PLUMBING
ACT	ACOUSTIC CEILING TILE	FF	FORCE FLOW UNIT	P.T.	PRESSURE TREATED
ADJ.	ADJUSTABLE	FHC	FIRE HOSE CABINET	PTD. /PTD	PAINTED
ADO	AUTOMATIC DOOR OPERATOR	FIN.	(FINISHED)		
A.F.F./AFF	ABOVE FINISH FLOOR	FLR.	FLOOR	R.D.	ROOF DRAIN
ALUM.	ALUMINUM			REINF.	REINFORCED
ANOD.	ANODIZED	GA.	GAUGE	REV.	REVISION
		GALV.	GALVANIZED	R.O.	ROUGH OPENING
BD.	BOARD	G.B.	GYPSPUM BOARD	RWL	RAIN WATER LEADER
BGL	BUMPER GUARD, LOWER	GL.	GLAZING		
BGU	BUMPER GUARD, UPPER			SC	SHARPS CONTAINER (NIC)
BLDG.	BUILDING	H.B.	HOSE BIB	SIM./SIM	SIMILAR
B.S./BS	BOTH SIDES	H.M.	HOLLOW METAL	SL	SLOPE
BSMT.	BASEMENT	HR.	HANDRAIL	SQ.	SQUARE
		H.S.S.	HOLLOW STEEL SECTION	S.S./SS	STAINLESS STEEL
CA	SINGLE COMPRESSED AIR OUTLET	H.	HEIGHT	SSM	SOLID SURFACING MATERIAL
C.B.	CATCH BASIN	HWT.	HOT WATER TANK	ST.	STAIR
CC	CUBICLE CURTAIN			STL.	STEEL
CG (1200)	CORNER GUARD (# = HEIGHT)	ID	INTERIOR DESIGN	T B G	TONGUE AND GROOVE
CJ	CONTROL JOINT	I.D.	INSIDE DIAMETER	TS	TACK SURFACE
CLG.	CEILING	INSUL.	INSULATION	T.O.	TOP OF
C/M	CEILING MOUNTED	INT.	INTERIOR	TYP.	TYPICAL
CMU	CONCRETE MASONRY UNIT				
CO2	SINGLE CARBON DIOXIDE OUTLET	JAN.	JANITOR	U/C	UNDER COUNTER
C.O.	CLEAN OUT			UM	UNFRAMED MIRROR
COL.	COLUMN	LAV.	LAVATORY	U/S	UNDERSIDE
CONC.	CONCRETE	MB	MARKERBOARD		
CONST.	CONSTRUCTION	MDF	MEDIUM DENSITY FIBERBOARD		
CONT.	CONTINUOUS	MECH.	MECHANICAL	Y.A.C.	SINGLE VACUUM OUTLET
CRU	CONU HOLDER	MEZZ.	MEZZANINE	V.B.C.	VAPOUR BARRIER
CP	CHAIR RAIL	M.H.	MANHOLE	VEST.	VESTIBULE
C/W	COMPLETE WITH	MISC.	MISCELLANEOUS	VL	VALANCE LIGHT
		M.O.	MASONRY OPENING		
DA	DATA OUTLET	MTD	MOUNTED	WC	WATER CLOSET
DF	DRINKING FOUNTAIN			W.	WITH
DIA.	DIAMETER			W/M	WALL MOUNTED
DN.	DOWN			WR.	WASHROOM
DRE	DUPLEX RECEPTACLE - EMERGENCY POWER				
DRN	DUPLEX RECEPTACLE - NORMAL POWER			ZVB	ZONE VALVE BOX
DW	DISPLAY WALL				
DWG.	DRAWING				

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PROJECT: _____

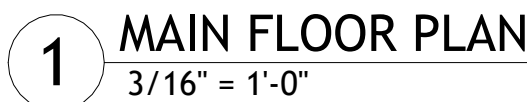
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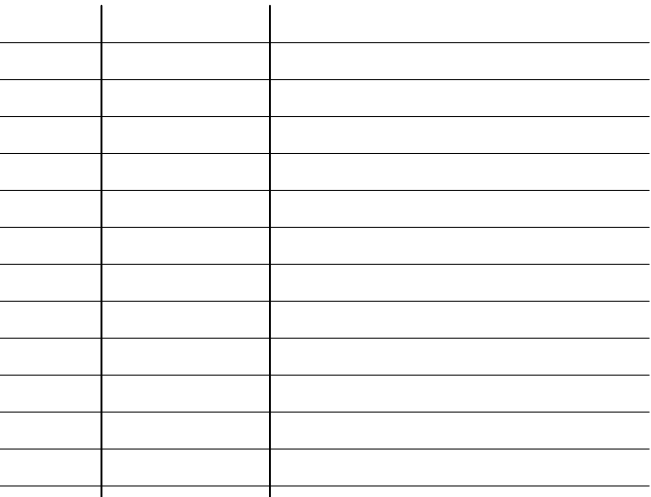
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FOUNDATION PLAN

SCALE 3/16" = 1'-0"	FILE NO: Project Number
DATE Issue Date	DRAWING #: A121
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SCALE 3/16" = 1'-0"	FILE NO: Project Number
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REFLECTED CEILING PLAN

A141

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ARCHITECTURE:



WOLSEY WALL
ARCHITECTURE & INTERIOR DESIGN
KELOWNA | WINNIPEG | KENORA
PHONE: (778) 377-8394

CONSULTANTS:

PROJECT:

HEART OF OUR ANCESTORS

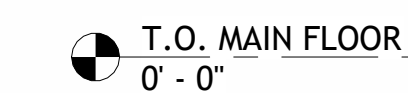
RIVER LOT 212 PARISH OF ST. PETER
ST. CLMENTS, MANITOBA

DRAWING TITLE:

ROOF PLAN

SCALE 3/16" = 1'-0"	FILE NO: Project Number
DATE Issue Date	DRAWING #:
DRAWN BY: CHECKED BY: Author Checker	A151

A151



SCALE 3/16" = 1'-0"	FILE NO: Project Number
DATE Issue Date	DRAWING #: A201
DRAWN BY: CHECKED BY: Author Checker	



REV.	DATE	DESCRIPTION
REVISIONS: DRAWING NOT TO BE SCALED. ALL DIMENSIONS SHALL BE VERIFIED BEFORE WORK COMMENCES. ANY DISCREPANCIES, VARIANCES, OR MISSING DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE WORK PROCEEDS. ALL STRUCTURAL SYSTEMS AND COMPONENTS SHALL BE APPROVED BY A PROFESSIONAL ENGINEER. ARCHITECT ASSUMES NO LIABILITY FOR ANY FAIL IN THE STRUCTURAL SYSTEM OR THE COMPONENTS THERE-OF.		

SEAL:	SEAL:
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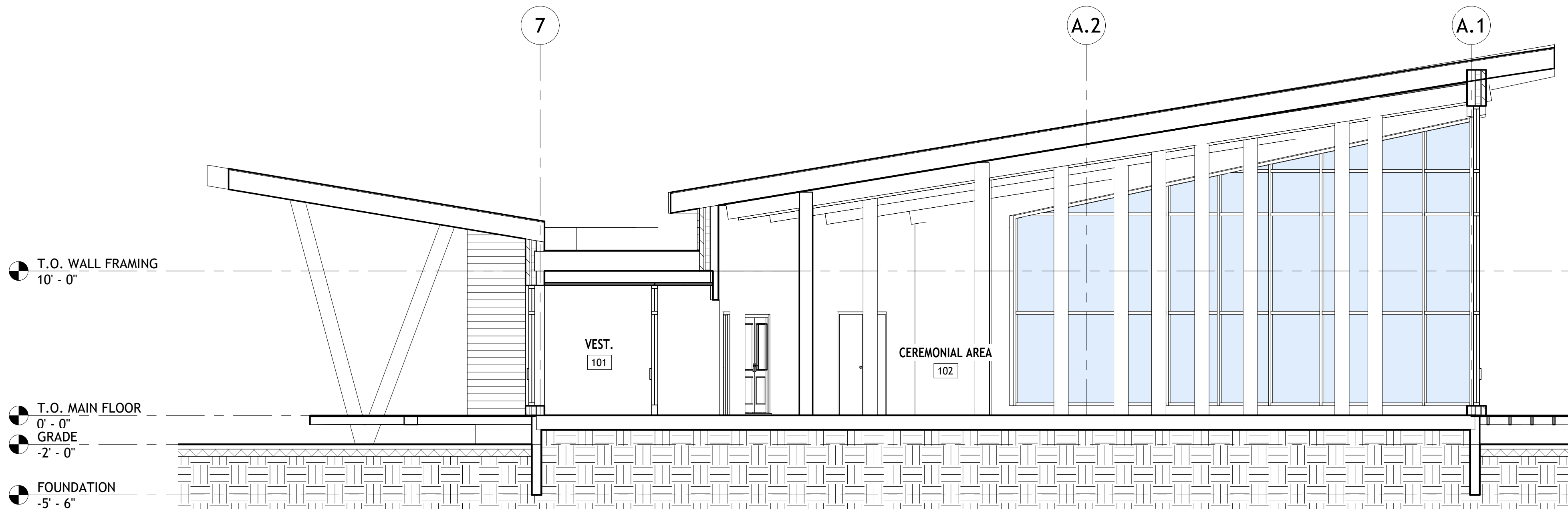
CONSULTANTS:

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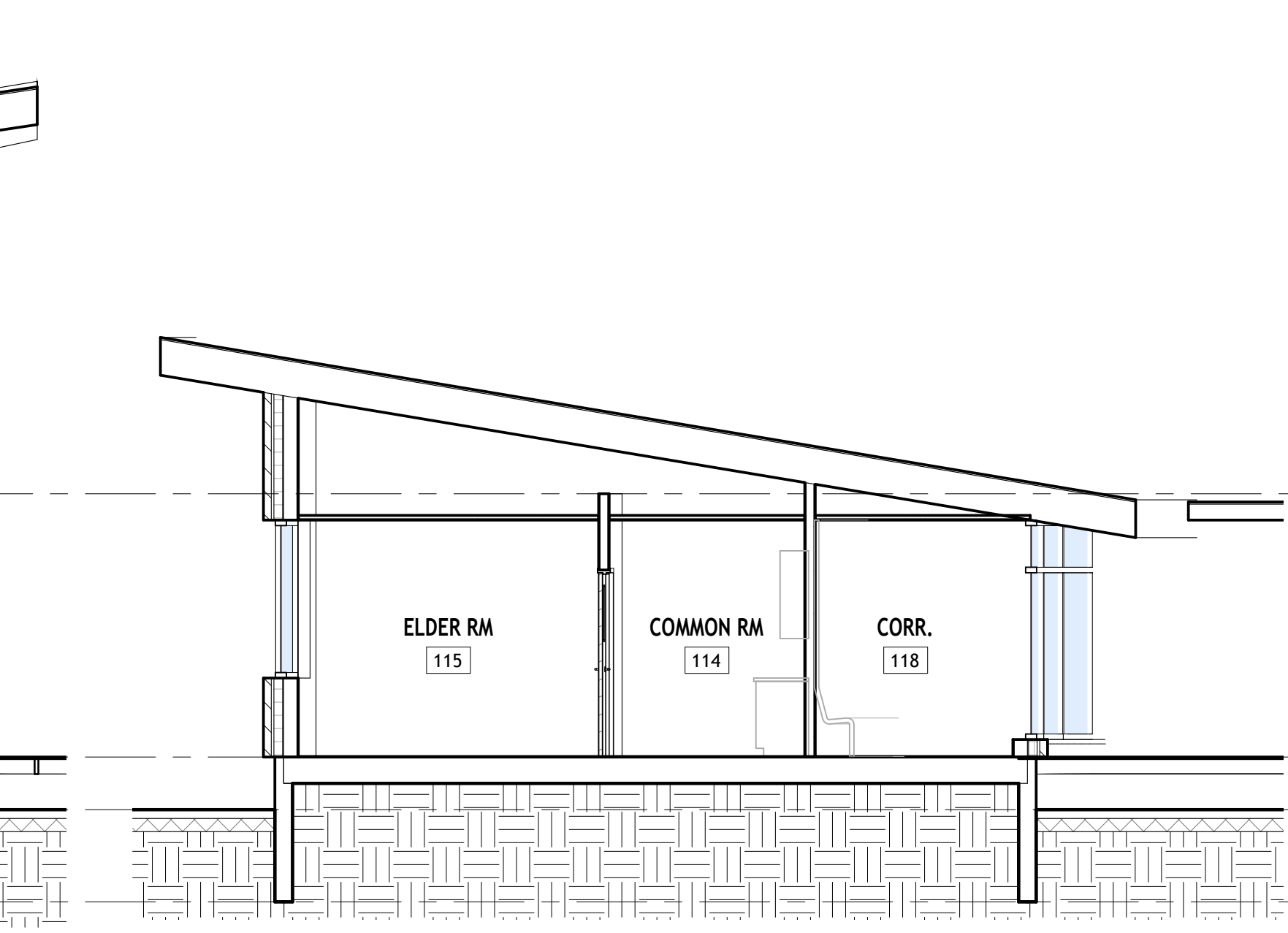
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EXTERIOR
ELEVATIONS

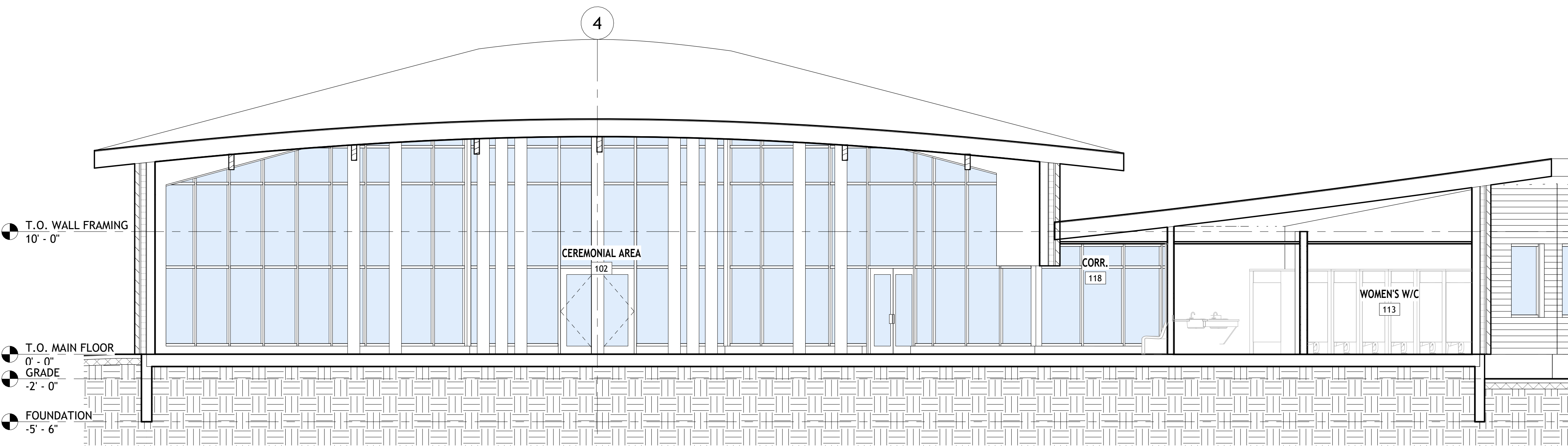
SCALE 3/16" = 1'-0"	FILE NO: Project Number
DATE Issue Date	DRAWING #: A202
DRAWN BY: Author	CHECKED BY: Checker



1
A301
BUILDING SECTION
3/16" = 1'-0"
ORIGINAL SHEET REFERENCE: A121
ORIGINAL DRAWING REFERENCE: 1



2
A301
BUILDING SECTION
3/16" = 1'-0"
ORIGINAL SHEET REFERENCE: A121
ORIGINAL DRAWING REFERENCE: 1



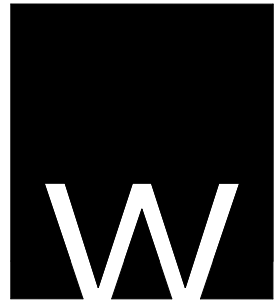
3
A301
BUILDING SECTION
3/16" = 1'-0"
ORIGINAL SHEET REFERENCE: A121
ORIGINAL DRAWING REFERENCE: 1

No.	Date	Description
1	Date 2	33% SUBMISSION

REVISIONS:
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SEAL:	SEAL:
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ARCHITECTURE:



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CONSULTANTS:

PROJECT:
HEART OF OUR ANCESTORS

RIVER LOT 212 PARISH OF ST. PETER
ST. CLMENTS, MANITOBA

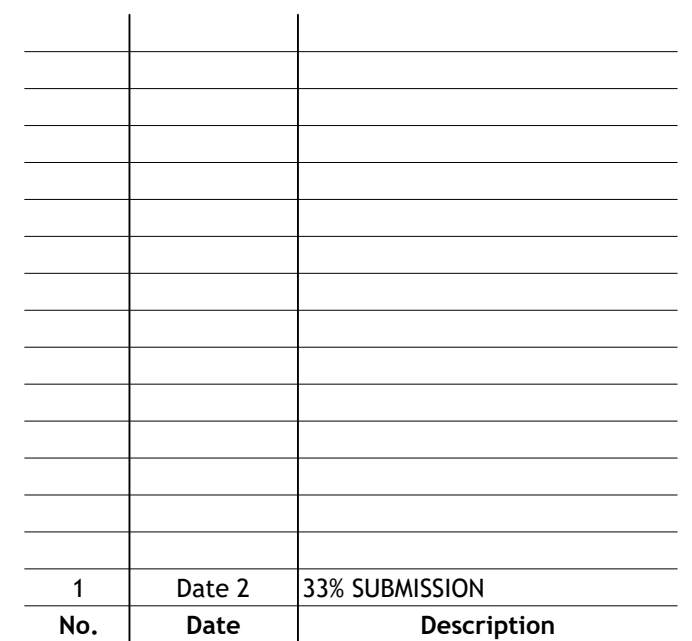
DRAWING TITLE:
BUILDING SECTIONS

SCALE 3/16" = 1'-0"	FILE NO: Project Number
DATE Issue Date	DRAWING #:
DRAWN BY: Author	CHECKED BY: Checker

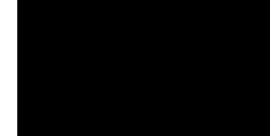
A301



SCALE 3/16" = 1'-0"	FILE NO: Project Number
DATE 2026-03-25	DRAWING #:
DRAWN BY: JA CHECKED BY: Checker	ID111



SEAL:	SEAL:
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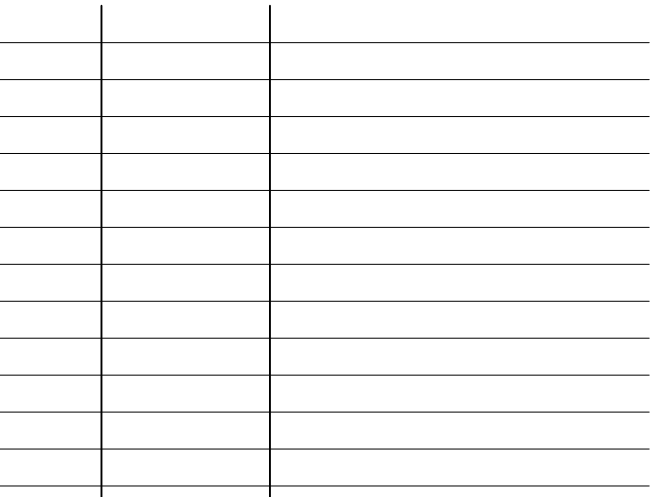
KELOWNA | WINNIPEG | KENORA
PHONE: (778) 377-8394

HEART OF OUR ANCESTORS

FLOOR FINISH PLAN

SCALE As indicated	FILE NO: Project Number
DATE 2026-03-25	DRAWING #:
DRAWN BY: JA CHECKED BY: Checker	ID121

1 MAIN FLOOR FINISH PLAN
3/16" = 1'-0"



REVISIONS:

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SEAL:	SEAL:
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W

CONSULTANTS:

HEART OF OUR ANCESTORS

REFLECTED CEILING PLAN

ID161



ARCHITECTURE
:

W

WOLSEY WAL

ARCHITECTURE & INTERIOR DESIGN

1500 AVENUE BETHUNE, SUITE 100, WINNIPEG, MANITOBA, CANADA R3T 1P9
TEL: (204) 952-4966

STRUCTURAL/MECHANICAL/ELECTRICAL

REGUIS CFS ST.
CLEMENTS
LOT 1 HEART OF OUR
ANCESTORS

SCALE:	FILE NO:
AS SHOWN	25.1144
DATE:	DRAWING #:
OCTOBER 25, 2023	A20
DRAWN BY:	

